



Black Point BEACH CLUB

Community Master Plan

Draft Goals, Objectives, and Actions

March 30, 2023

Draft for Review

Prepared by



Black Point's Master Plan

- The Master Plan reflects the community's value and enables BPA to define its own strategy for maintaining & sustaining the high quality of life offered by the community
- The Master Planning process inventories community assets, identifies short and long term needs for improvements and key areas for protection
- The Master Plan's goals and strategies creates a “road map” of actionable items and a timeline for implementation
- Planning is a continuous process, and BPBCA's first Master Plan will provide a foundation for future decision making & plan refinement

Goals, Objectives, and Strategies



- Ten-year planning horizon. Important that goals, objectives and actions are **"specific, yet flexible."**
- Plan needs to be **specific** enough to provide meaningful guidance related to Association governance, policies, and capital investments.
- Plan needs to be **flexible** enough so that it can be responsive to changing conditions and priorities over a ten-year period.
- Near-term goals, objectives, and strategies can be more specific than longer-term goals, objectives, and strategies.

Goals:

Goals should reflect your longstanding community values and priorities. Are not likely to significantly change if you were to look at them ten-years from now.

Goals are not in order of priority

Goal 1: Improve the Financial Sustainability and Fiscal Accountability of the Association


Goal 2: Strengthen and Build Organizational Efficiency and Structure to Support a Proactive, Collaborative, and Accountable Association Governance

Goal 3: Invest in and Improve the Waterfront to Support Long-Term Resiliency and Community Access

Goal 4: Foster a Healthy and Vibrant Lifestyle for All Community Members through Safe and Comfortable Access to Resources

Purpose of Today's Meeting

Gather your feedback on the Master Plan's Draft Goals, Objectives, and Strategies prior to presenting them to the community at large



Goal 1:

Improve the Financial
Sustainability and Fiscal
Accountability of the Association

Goal 1

Rationale:

- Several major capital projects are anticipated to be needed over the next decade.
- These projects require a greater level of financial foresight and planning compared to what has been done in the past.
 - Historically, Association has relied on one-time assessments to fund these projects.
- Need to create an equitable and transparent plan that allows the Association to make investments in a more proactive manner.

Potential Major Capital Projects



Piers and groins – repairs and ongoing maintenance



Beach maintenance and nourishment



Clubhouse winterization and improvements



Clubhouse expansion and recreation improvements



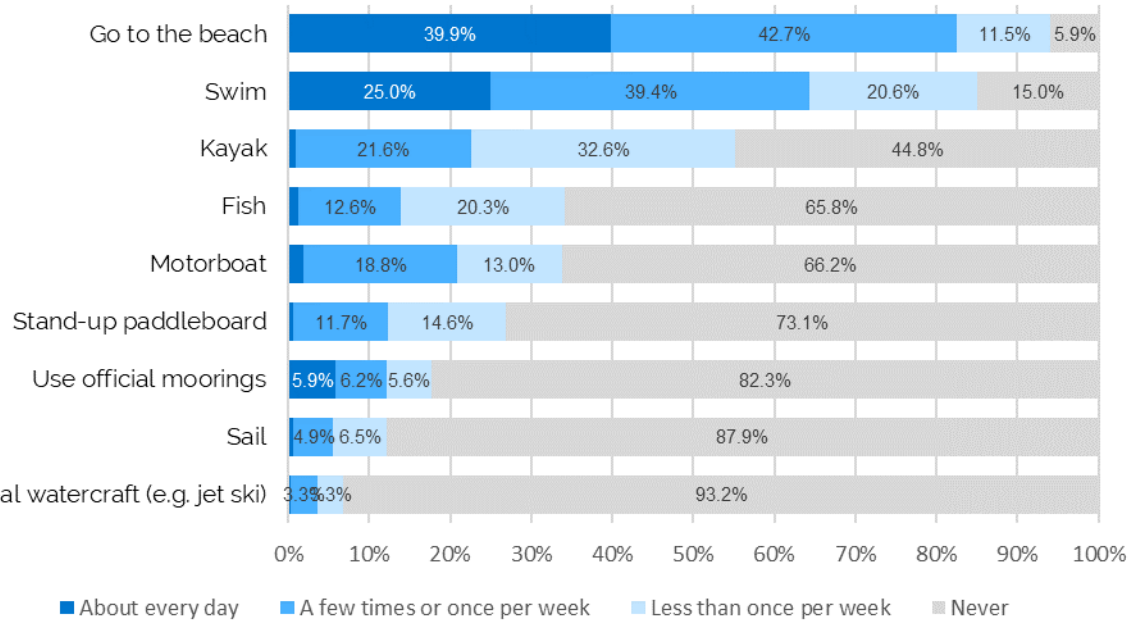
Estuary Backwater Kayak Access



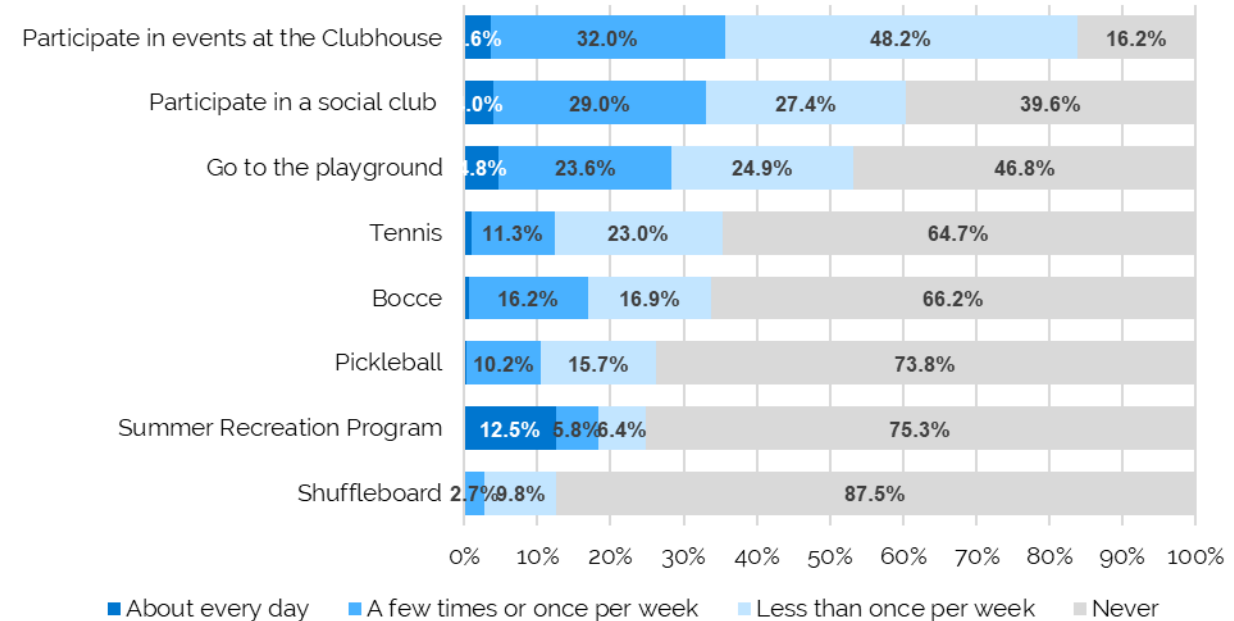
Emergency repairs/storm cleanup

Goal 1

How often do you partake in the following waterfront recreational activities?



How often do you partake in the following recreational activities in Black Point?



- **Should prioritize infrastructure/programs that provide community-wide benefits**
- According to the Community Survey, beaches (94%) swim areas (85%), and clubhouse (84%) were the most used Association assets – provide the greatest level of community-wide benefit.
- However, numerous small programs and activities used by residents are also important to maintain.

Goal 1

Objective 1.1: Enhance Capacity to Fund Major Capital Projects

Actions:

- Create and maintain an up-to-date Capital Improvement Plan (CIP) to guide and prioritize use of Capital Improvement Funds. This should focus on critical infrastructure that has community-wide benefits.
- Establish a dedicated Capital Improvement Fund for critical infrastructure projects that have community-wide benefits. Consider funding this program through annual contributions as opposed to large one-time assessments.
- Create a policy framework regarding the use of Capital Improvement Funds. The intent is that these funds would be used exclusively to fund major capital investments and emergency repairs to Association assets such as piers/groins, clubhouse improvements, resiliency projects, beach improvements, storm cleanup, etc.
- Explore alternative mechanisms for funding long-term financial obligations (e.g. line of credit, loans, etc.).

Goal 1

Objective 1.2: Explore Alternative Funding Mechanisms and Revenue Generating Opportunities.

Actions:

- Consider establishing user fees for certain facilities and programs (e.g. recreational facilities & programs, boat storage), with stipulation that funds are used to maintain and improve those facilities/programs.
- Consider private fundraising as way to fund smaller capital or maintenance projects. Commemorative items such as bricks/plaques and naming rights should be considered as potential fundraising tools.
- Revisit the Association Application process for renting the clubhouse. Consider loosening some of the requirements in order to facilitate greater rental use, which could create additional revenue for facility improvements.

An aerial photograph of a city grid, likely San Francisco, with a semi-transparent red overlay. The text is centered over the image.

Goal 2:

Strengthen and Build Organizational
Efficiency and Structure to Support
a Proactive, Collaborative, and
Accountable Association
Governance

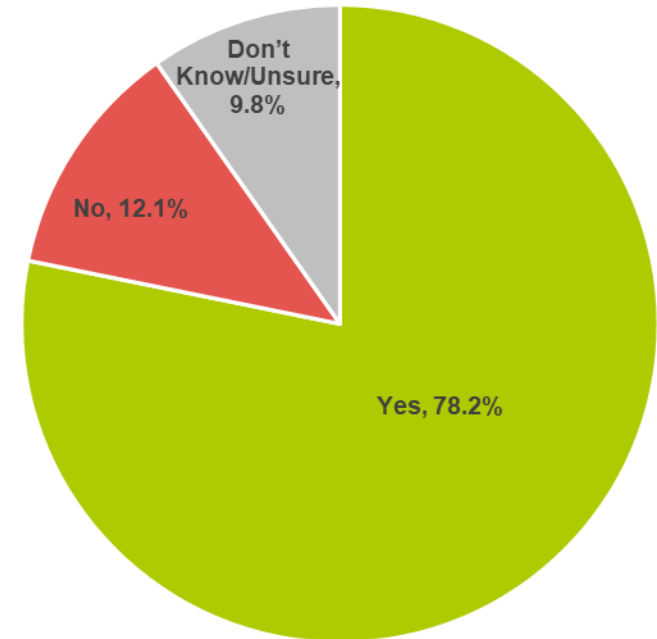
Goal 2

Objective 2.1: Maintain Up-to-Date Bylaws, Rules, and Policies

Rationale:

- Association rules, regulations, and enforcement mechanisms should be periodically evaluated to ensure that they are having their intended impact.
- Community survey indicated general satisfaction with current rental policy.
- Community survey noted some challenges with enforcement of existing rules, regulations, and policies, particularly those pertaining to traffic, beach use, zoning, and property maintenance.

BPBCA rules require a minimum one-week rental period. Short-term rentals are not permitted. Are you satisfied with BPBCA's rental policy?



Community Survey (2022) indicated general satisfaction with current rental policy

Goal 2

Objective 2.1: Maintain Up-to-Date Bylaws, Rules, and Policies

Actions:

- Establish an Ad Hoc Committee to review Association Bylaws, Beach Use Rules, and Policies, as well as enforcement strategies. Conduct public outreach as part of this effort and develop recommendations to the Board of Governors for implementation.
- Maintain current rental policy in the near-term. However, this policy as well as enforcement mechanisms should be revisited periodically, with input from Association members, to ensure that it is meeting intended objectives.
- Periodically review the zoning regulations and enforcement strategies. and update as necessary.
- If necessary, coordinate with the East Lyme Building Department and Fire Marshal to address any blight issues that pose a threat to health, safety, or public welfare.
- Consider changes to the Business Zone regulation to allow greater flexibility in uses to improve marketability of the property

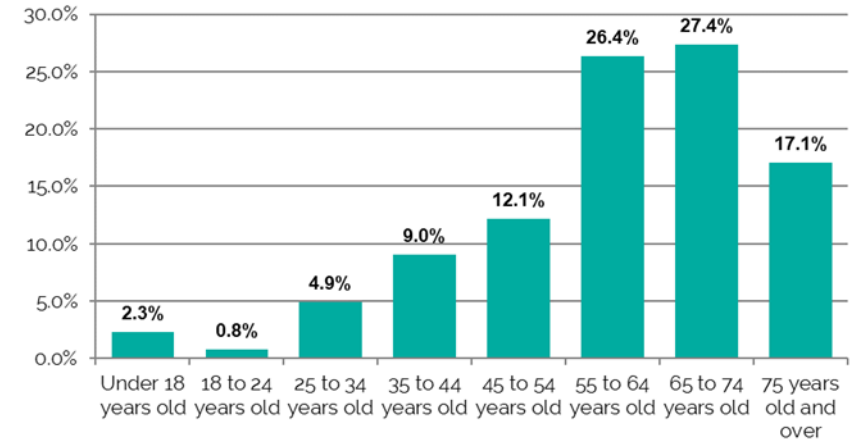
Goal 2

Objective 2.2: Promote Civic Participation

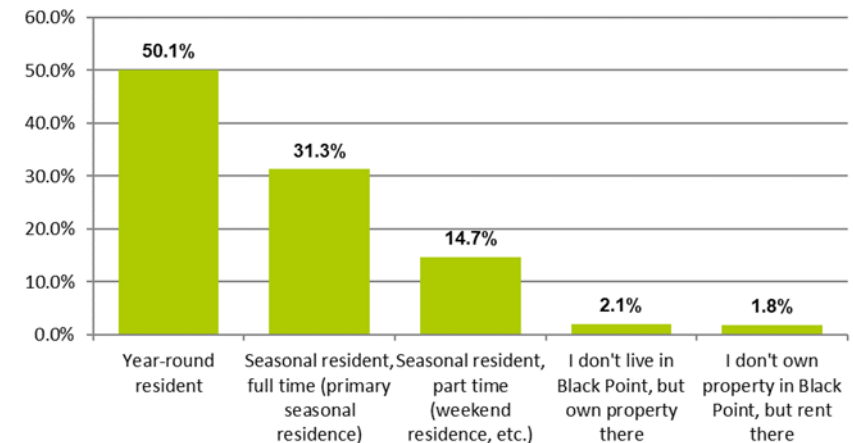
Rationale:

- Civic participation and volunteerism have always been and will continue to be core tenets of life in Black Point.
- Growing year-round population - need to engage year-round residents while maintaining opportunities for year-round involvement of seasonal residents
- Significant share of population is over age 65. Need for succession planning and redundancy to ensure long-term health of Association.

What is your age?



Residency Status



Goal 2

Objective 2.2: Promote Civic Participation

Actions:

- Implement hybrid meetings. This could be achieved through physical investments in IT infrastructure at the clubhouse or by using another local facility (such as Town Hall meeting room or library) where such infrastructure is available.
- Consider hosting an annual “Volunteer Fair” to market volunteer and civic opportunities to residents. This could be used to improve civic awareness of association governance and recruit new and prospective board and commission members.
- Upgrade BPBCA Website to improve user friendliness and interactiveness.
- Create off-season electronic issues of the Black Pointer, making it a year-round publication. Continue print publications during the summer season.

Goal 2

Objective 2.3: Strengthen Partnerships between the Association, the Town of East Lyme, and neighboring Beach Associations.

Rationale:

- Much of the infrastructure within Black Point is owned and maintained by the Town of East Lyme. Black Point needs to advocate on its behalf for improvements to this infrastructure within its boundaries.
- Town of East Lyme is eligible for discretionary state and federal funds for infrastructure and resiliency projects that could benefit Black Point.
- Neighboring Beach Associations facing similar challenges/priorities – opportunities to better collaborate?

Town Infrastructure/Services in Black Point

-  Roads
-  Sewer Infrastructure
-  Pump Stations
-  Stormwater Infrastructure
-  Public Safety
-  Emergency Operations

Goal 2

Objective 2.3: Strengthen Partnerships between the Association, the Town of East Lyme, and neighboring Beach Associations.

Actions:

- Designate a Liaison who can represent Association interests to Town Departments and elected officials and communicate relevant Town news to residents.
- Partner with the Town of East Lyme on grant opportunities, specifically those pertaining to coastal resiliency and Town-owned infrastructure (roads, stormwater management, sewer).
- Ensure greater Association participation in the Town's next Plan of Conservation and Development, Hazard Mitigation, and Coastal Resilience Plan updates.
- Consider strengthening partnerships with neighboring beach associations in the areas of collective purchasing and equipment sharing.



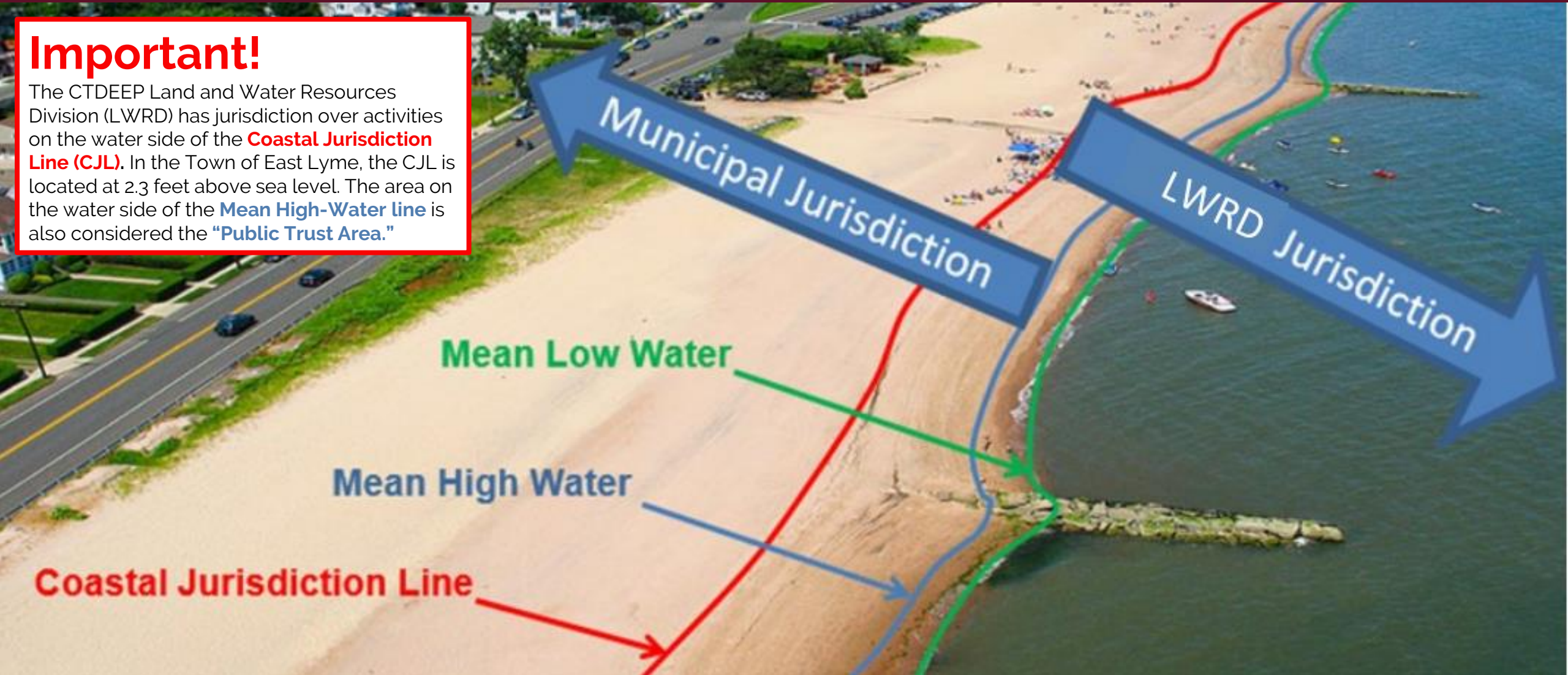
Goal 3:

Invest in and Improve the
Waterfront to Support Long-Term
Resiliency and Association
Community Access

Goal 3

Important!

The CTDEEP Land and Water Resources Division (LWRD) has jurisdiction over activities on the water side of the **Coastal Jurisdiction Line (CJL)**. In the Town of East Lyme, the CJL is located at 2.3 feet above sea level. The area on the water side of the **Mean High-Water line** is also considered the "Public Trust Area."



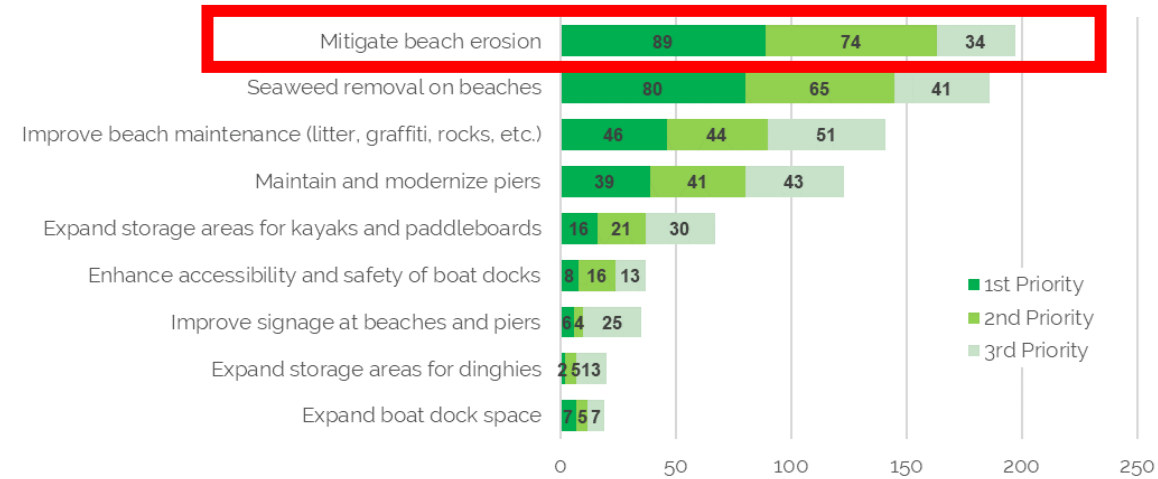
Goal 3

Objective 3.1: Modernize and Maintain Groins and Piers

Rationale:

- The beach is the most popular community asset; however, it is under threat by sea level rise (SLR), and stronger coastal storms.
 - CT anticipates 20 inches of SLR by 2050.
- Maintaining Groins and Piers in state of good repair is key to the Association's erosion mitigation strategy.
 - Steel pier improved in 2019.
 - Initial study of remaining piers completed in 2020.
- Mitigation of beach erosion was listed as the top priority related to beaches/boating/piers in the community survey.

Please select your top 3 priorities related to beaches, boating, and piers



Goal 3

Objective 3.1: Modernize and Maintain Groins and Piers

Actions:

- Leverage existing engineering reports and conduct additional studies to better understand and document conditions and prioritize projects.
- Conduct preliminary design and develop cost estimates for priority projects identified.
- Develop a capital and financial plan for pier reconstruction and rehabilitation projects. Consider separate funds for major capital improvements and ongoing maintenance/repair. (see Goal 1)



The Steel Pier was repaired in 2019. Similar investments are needed at the remaining piers.

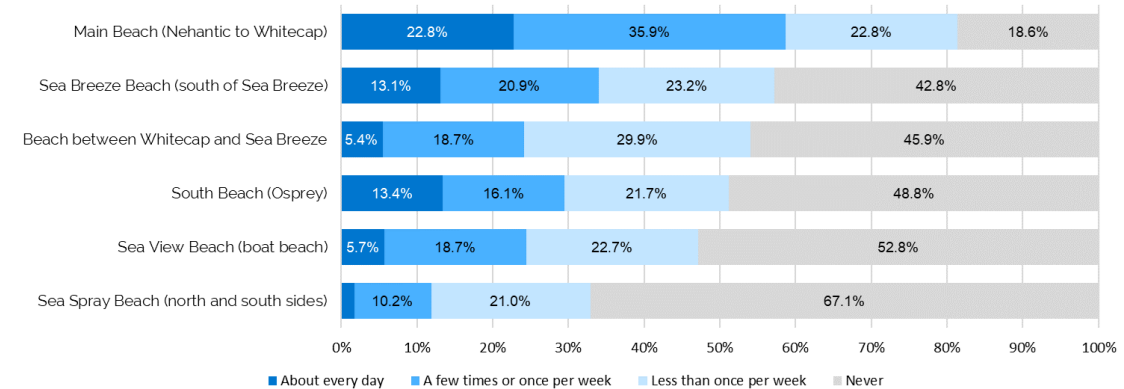
Goal 3

Objective 3.2: Maintain and Improve the Beaches and Swimming Areas

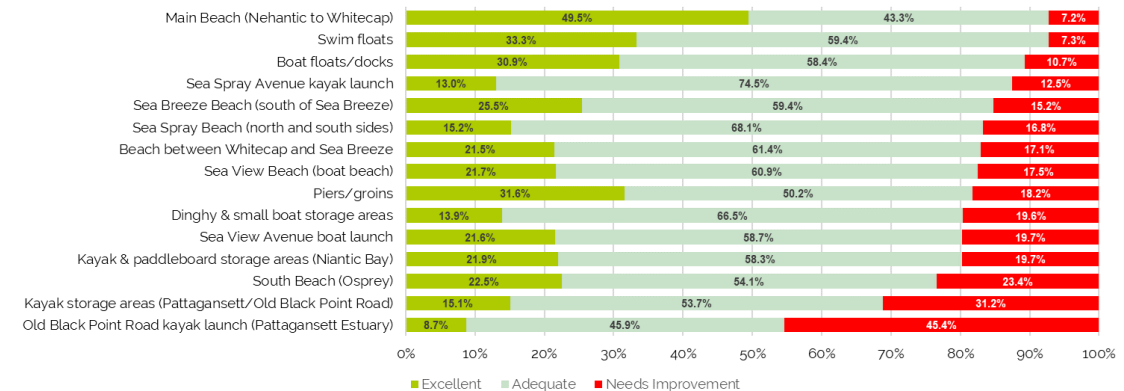
Rationale:

- Beaches/Swimming areas are central to life in Black Point.
 - Main Beach is by far the most popular and is used by over 80% of survey respondents.
- Need to protect beach assets to the extent possible from sea level rise (SLR), and coastal storms.
- Beaches generally rated as excellent or adequate by majority of survey respondents.
- Commonly cited issues related to the beaches in the community survey relate to eelgrass/seaweed removal, beach grooming (rocks, litter, etc.), and resolving conflicting uses at Sea View Beach.

How frequently do you use the following beach areas?



How would you rate the condition of the following:



Goal 3

Objective 3.2: Maintain and Improve the Beaches and Swimming Areas

Actions:

- Initiate a periodic beach nourishment program, with a focus on the Main Beach. Consult with DEEP to better understand state and federal permitting requirements prior to developing and implementing a beach nourishment plan. (Note that beach nourishment is a temporary erosion mitigation strategy that typically lasts 5-years or less).
- Consider cooperative purchasing of beach nourishment services, equipment, or other operational expenses with neighboring associations that may result in lower costs.
- Consider implementing more frequent seaweed/eelgrass removal on designated beaches. Meet with DEEP to discuss potential eelgrass management strategies on the state side of the coastal jurisdiction line.
- Ensure that beach maintenance strategies do not exacerbate erosion (such as excessive removal of rocks or underwater vegetation).

Goal 3

Objective 3.2: Maintain and Improve the Beaches and Swimming Areas

Actions (Continued):

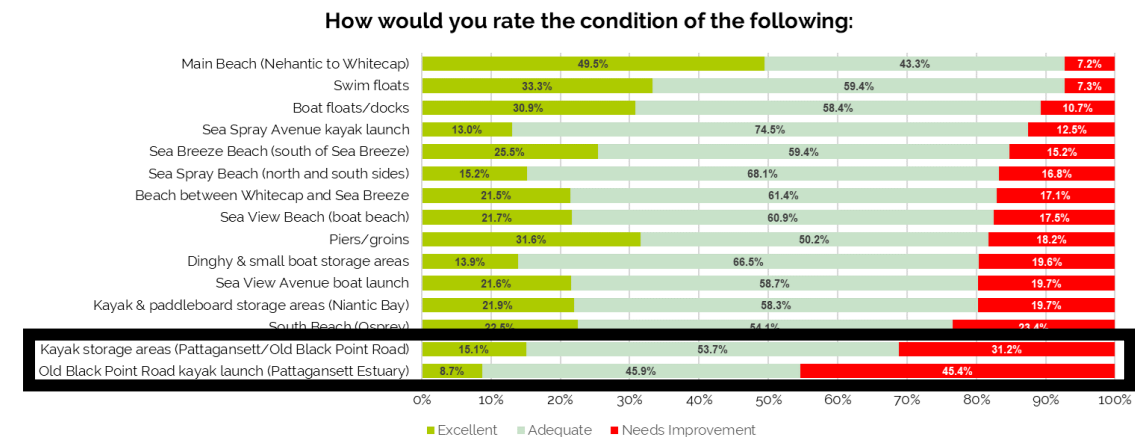
- Work with the Town of East Lyme Public Works Department to ensure that stormwater outfalls along Niantic Bay are properly maintained and have proper erosion control measures in place (such as adequate dissipators and rip-rap)
- Maintain and enforce proper separation of uses at the different beach areas.
- Make accessibility improvements, with a focus on the Main Beach. Improvements may include beach grading improvements, mobi-mat expansions, and surface treatments/accessibility upgrades at beach access points. Designate and sign a portion of the Main Beach closest to Nehantic Drive as an “accessible” area, with priority given to those in need of accommodations.

Goal 3

Objective 3.3: Enhance Access to the “Backwater” on the Pattagansett Estuary

Rationale:

- Backwater kayak launch on Old Black Point Road was cited as in the greatest need for improvement.
- Site constraints include lack of parking and amenities, and distance to water during low tide.
- Water access is within DEEP Coastal Jurisdiction Line – need to acquire state and federal permits for improvements. In addition, there are “Public Trust Area” requirements for the land on the water side of the mean high-water line.
- Improving backwater access is complex and potentially costly due to state and federal requirements. Need to weigh costs versus potential benefits.



Goal 3

Objective 3.3: Enhance Access to the “Backwater” on the Pattagansett Estuary

Actions:

- Meet with DEEP to better understand regulatory requirements to building a permanent boardwalk/kayak launch to the Pattagansett Estuary.
- If necessary, conduct a site survey to determine the location of the Coastal Jurisdiction Line and Mean High Water Line.
- Based on conversations with DEEP, develop preliminary designs and cost estimates and obtain all necessary state and local approvals.
- If building an improved facility on existing association land is not feasible, consider alternative strategies for estuary access, such as leasing kayak launch rights at properties with adequate facilities along the estuary.

Goal 3

Objective 3.4: Strengthen Stormwater Management to Protect Water Quality

Rationale:

- Stormwater infrastructure in Black Point is owned and maintained by the Town of East Lyme.
- Most stormwater infrastructure in Black Point outfalls into Niantic Bay and directly impacts water quality on the beaches.
- Risks of contamination (such as e. Coli) due to stormwater, particularly during heavy rainfalls.
 - Likely sources of contamination in Black Point are pet and bird waste and lawn treatments (fertilizer, herbicides and pesticides).



Goal 3

Objective 3.4: Strengthen Stormwater Management to Protect Water Quality

Actions:

- Work with the Town of East Lyme Department of Public Works to implement stormwater best management practices, particularly for areas that outfall onto the beaches.
- Run an awareness campaign on water quality.
- Educate homeowners on Pest and Pet Waste Management and the impact of improper pet waste disposal on water quality.
- Consider strengthening stormwater management requirements in the zoning regulations for new construction. Consider requiring on-site stormwater management techniques such as rain gardens and subsurface stormwater detention/infiltration systems.

Goal 3

Objective 3.5: Build a More Sustainable and Resilient Black Point

Rationale:

- Impacts of Climate Change will directly impact Black Point over the next ten years and beyond.
 - Sea-level rise: 20 inches by 2050 anticipated in CT
 - Weather extremes and Stronger Coastal Storms
- Poses a risk for both critical association infrastructure (beaches, piers, groins, seawalls), as well as private property.
- Growing year-round, permanent population – need to plan for resiliency and emergency preparedness year-round.
- Limited access/egress points to Black Point – both evacuation routes at risk of flooding or tree damage.



Flood Zones

Draft for Review

100-year flood zones primarily on the east side of East Shore Road, Waterside Road, and Old Black Point Road

500-year flood zones extend west of East Shore Drive and along Woodland Drive near Old Black Point Road

Zone Type

- 1% Annual Chance Flood Hazard
- Regulatory Floodway
- Special Floodway
- Area of Undetermined Flood Hazard
- 0.2% Annual Chance Flood Hazard
- Future Conditions 1% Annual Chance Flood Hazard
- Area with Reduced Risk Due to Levee
- Area with Risk Due to Levee



Costal Storm Flood Risk

Draft for Review

Greatest inundation risk at beaches.

Seawall infrastructure generally protects properties from Category 1 inundation.

Category 2 storms and stronger pose threat to properties, with those along East Shore Drive at greatest risk.

Worst Case Hurricane Inundation (USACE 2008)

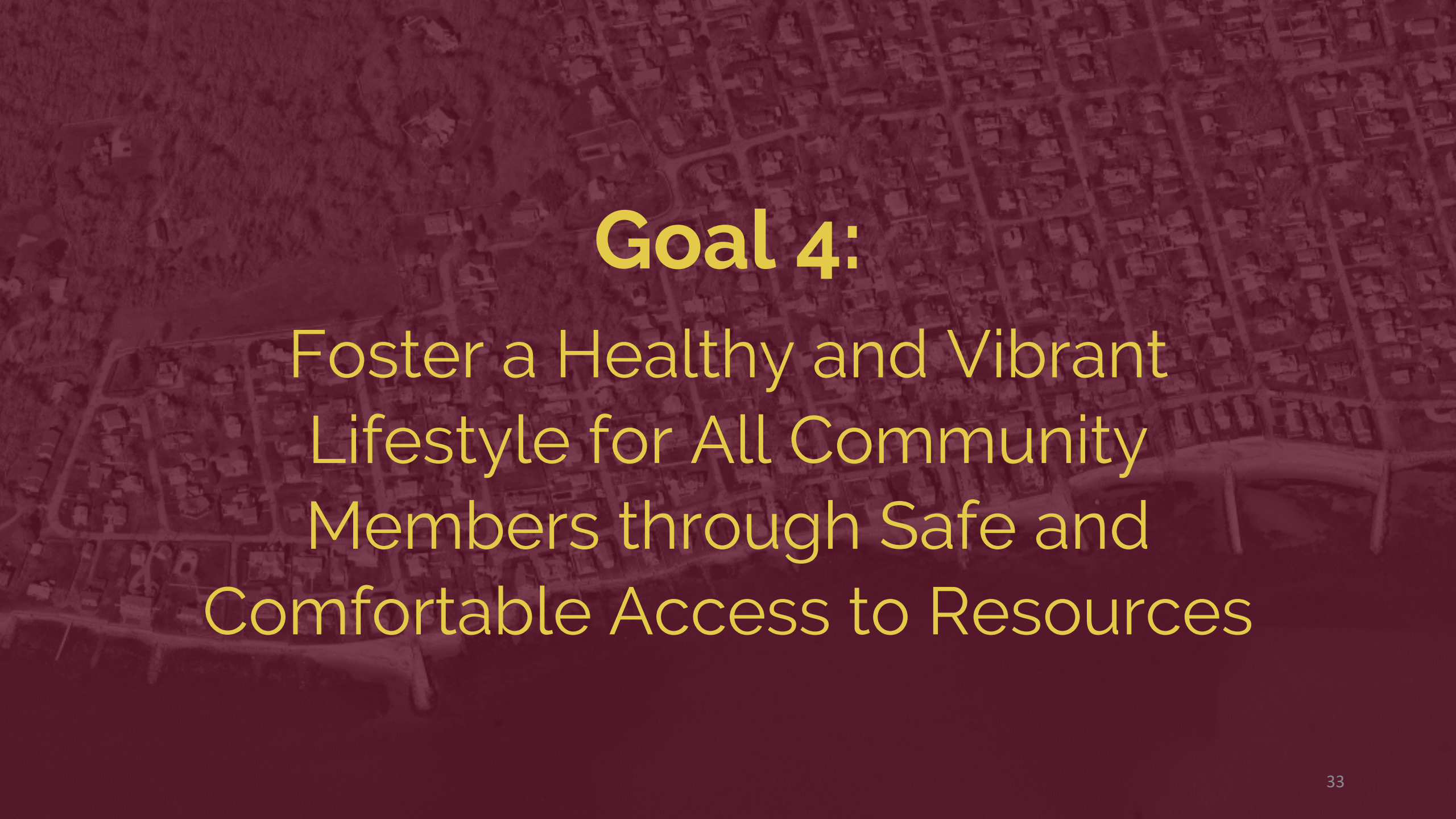
- Category 1
- Category 2
- Category 3
- Category 4

Goal 3

Objective 3.5: Build a More Sustainable and Resilient Black Point

Actions:

- Plan for climate change and sea level rise as part of coastal infrastructure investments.
- For properties in the coastal flood zone, consider adding “freeboard” requirements in the zoning regulations to account for the 2050 sea level rise projections from the State of Connecticut.
- Improve coordination and collaboration with the Town of East Lyme in the areas of emergency preparedness and disaster preparedness.
- Consider installation of an emergency generator at the Clubhouse in order to enhance its use in emergency situations. Consider working with the Town of East Lyme on potential grant funding opportunities.
- Work with the Town to install emergency evacuation route signs.

An aerial photograph of a suburban neighborhood, showing a grid of streets, houses, and trees. The entire image is covered with a semi-transparent red overlay. The text is centered in a yellow, sans-serif font.

Goal 4:

Foster a Healthy and Vibrant
Lifestyle for All Community
Members through Safe and
Comfortable Access to Resources

Goal 4

Objective 4.1: Modernize the Clubhouse to Support Year-Round Use

Rationale:

- Clubhouse serves as the governmental, recreation, and social hub of the community.
- Growing number of year-round residents (more than half of survey respondents!)
- Current clubhouse is seasonal and not winterized.
- Some recent improvements (bathrooms), however, there will be other capital needs over the next decade that need to be planned for.



Goal 4

Objective 4.1: Build a More Sustainable and Resilient Black Point

Actions:

- Complete winterization improvements to the clubhouse including insulation and heating system.
- Make energy efficiency upgrades to lower operating costs. Improvements include LED lighting, weather sealing, and energy efficient appliances (when in need of replacement).
- Study potential expansion of the clubhouse building as part of a larger site/feasibility study (see Objective 4.2).

Goal 4

Objective 4.2: Leverage Available Land at the Clubhouse to Expand Community Amenities

Rationale:

- Currently about 1.3 acres of land on the east side of the clubhouse property is underutilized and could be used to meet the Association's long-term recreation and community facilities needs.
- Need to maintain "highest and best use approach" for Beach Association properties as community needs and priorities change.
 - This "highest and best use" exercise should apply to both the clubhouse property as well as the clay courts on Nehantic Dr.



Goal 4

Objective 4.2: Leverage Available Land at the Clubhouse to Expand Community Amenities

Actions:

- Establish an Ad-Hoc Committee to oversee a comprehensive study of the recreational/social programs and properties, inclusive of the Clubhouse Property and the Clay Courts on Nehantic Drive. This process should incorporate extensive outreach with the community to determine community-wide program and facility usage and needs.
- As part of the study, evaluate existing facility and program usage, identify site constraints and limitations, desired facilities and programs, development of conceptual plans, cost estimates for improvements, and potential funding opportunities.

Goal 4

Objective 4.3: Build a Connected Community Through Programs and Events

Rationale:

- According to the Community Survey, community programs and events and “sense of community” were cited as among the top things that make Black Point a place to live.
- Current community events and programs include Women's Club, Men's Club, recreational leagues, summer recreation program, and a range of community events (BBQ, 5k, fireworks, etc.)



Goal 4

Objective 4.3: Build a Connected Community Through Programs and Events

Actions:

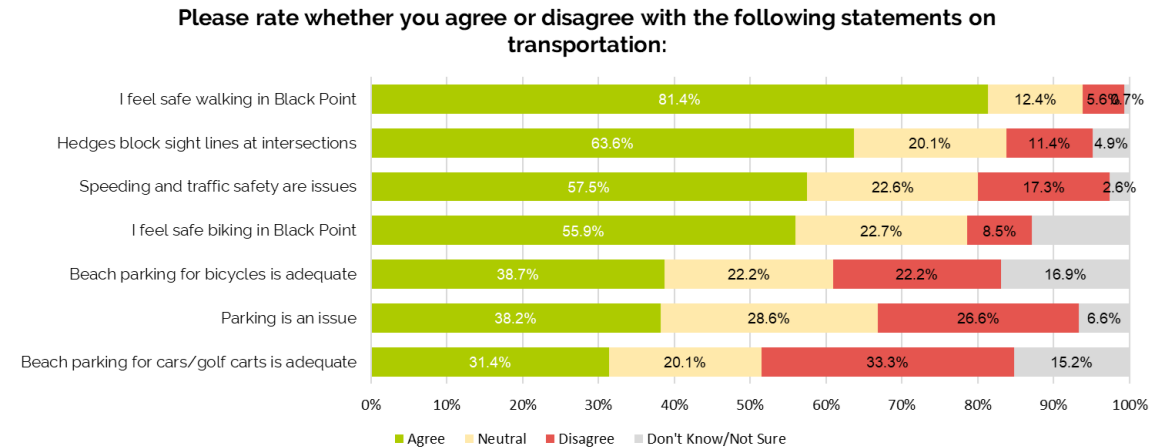
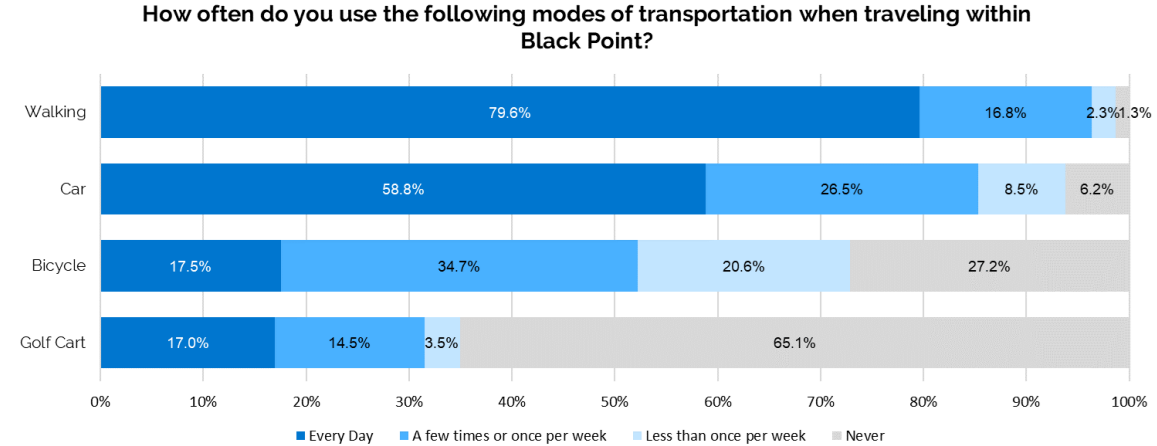
- Continue annual community-wide events sponsored by the Association.
- Bolster off-season programs and events through the provision of year-round community space at the clubhouse.
- Support existing social clubs and encourage the establishment of new clubs/organizations by leveraging space and amenities at the clubhouse.
- Celebrate the Centennial of the BPBCA through community events and the publication of historical materials/booklets.

Goal 4

Objective 4.4: Maintain a Safe Multi-Modal Transportation Network for All Users

Rationale:

- Local roads are owned and maintained by Town of East Lyme – support a wide range of travel modes.
- Walking is the most common travel mode within Black Point – vast majority of respondents feel safe walking in Black Point.
- Some concerns noted in the Community Survey regarding enforcement of traffic rules, golf carts, parking, and road maintenance.



Goal 4

Objective 4.4: Maintain a Safe Multi-Modal Transportation Network for All Users

Actions:

- Consider strengthening enforcement procedures and regulations for traffic safety violations through partnerships with the Town of East Lyme Police Department.
- Consider the expansion of handicap parking spaces at the Nehantic Drive parking lot to support proposed accessibility improvements to the main beach (see Objective 3.2).
- Consider converting one or more lots into a designated drop-off areas for loading and unloading (for example, 15-minute maximum parking).
- Consider creating separate, designated vehicle and golf cart parking spaces at beach or Whitecap parking areas. Golf cart spaces could be restriped to smaller dimensions to create additional spaces.



Next Steps

Next Steps

1. Modify Draft Goals, Objectives, and Strategies based on Committee feedback
2. Present Draft Goals, Objectives, and Strategies at a Public Meeting and gather community-wide feedback. Schedule for later this spring? Virtual?
3. Develop Draft Master Plan based on feedback received from Committee and public.
4. Public Comment Period – Public Draft Plan on website for public review and comment.
 - Afterwards, Hold Public Hearing/Public Meeting to collect final feedback
5. Finalize Master Plan – address any issues/comments received as directed by Committee
 - Committee recommends Final Master Plan for Adoption
 - Final Master Plan – Adopted by the Board of Governors?