

***Black Point Beach Club Zoning Board of Appeals***  
***AGENDA***

**Thursday, April 20, 2023, 6:00 PM**

**BPBCA Clubhouse**  
**6 Sunset Avenue, Niantic, CT**

Public Hearing

Black Point Zoning Board of Appeals Case 1-2023 Application of William Budds, request for a variance of setback requirements at 53 Nehantic Drive, Niantic, CT. Said parcel appears on the East Lyme Assessor's map 05.10, lot 88.

Regular Meeting

Black Point Zoning Board of Appeals Case 2-2023 Application of William Budds, request for a variance of setback requirements at 53 Nehantic Drive, Niantic, CT. Said parcel appears on the East Lyme Assessor's map 05.10, lot 88.

New Business

1. Any business on the floor, if any by the majority vote of the Commission
2. Adjournment

*Dan Deknis*

Dan Deknis, Chair

March 15, 2023

Black Point Beach Association  
Zoning Board of Appeals

RE: Budds Variance, 53 Nehantic

To Whom It May Concern,

Please consider the attached application to "extend" my house five to the west.

I assume the application and enclosed plans are adequate and self-explanatory.

I checked "no" to any previous applications. I spoke to the previous owner and he said it's possible there was an application for a variance when an addition was completed in or around 2008 but he was not certain.

I also enclosed a picture of new construction on East Shore Dr. where a house is being built closer to another house than my extension would be to the property line. I assume this is a grandfathered exception. I think I have an understanding of why the regulations are what they are in terms of preventing houses from being built on top of each other, which can be seen all over Black Point. I'm not asking for anything like that. I'm asking for 27 inches (11'9" instead of 14' from the property line) and the resulting structure will continue to fit in nicely with the surrounding properties. (I'm sure this part of the appeal is nothing new, but it's my way of highlighting that I'm only asking for a very small and unnoticeable variance.)

Also, please expedite your decision if at all possible. At first, Mr. Ventres said I could go out five feet so I had the plans completed and my builder contracted for an April start. Mr. Ventres came back out to the property and then said I could only go out 2'9" and a variance was required.

Your consideration is appreciated.



William H. Budds  
53 Nehantic Dr.  
(860) 460-9745  
Whbudds21@gmail.com

**APPLICATION DETAILS**

Applicant Name William Budds Phone 860 460-9745  
 Address 53 Nehantic Dr Email whbudds21@gmail.com  
 Owner Name Willam Budds Phone \_\_\_\_\_  
 Address 53 Nehantic Dr. Email \_\_\_\_\_  
 Property Address 53 Nehantic Dr.  
 Assessor's Map No. 05. 10/ 88 Lot No. 732

Has any previous variance request or appeal relative to this property been filed with the Board of Appeals?  
*(if unsure, please consult with Black Point Zoning Enforcement Officer)*

No  Yes – Date(s) of previous variance request(s) \_\_\_\_\_

**Abutters** – Properties within 50 feet of any lot line

Name Zito, Edmund Mailing Address 6166 N. Scottsdale Rd. #C1066 Scottsdale, AZ 85253  
 Black Point Address 57 Nehantic  
 Name Seymour, Chris Mailing Address 154 Englewood Ave., West Hartford, CT 06110  
 Black Point Address 54 Bellaire  
 Name Suplicki, John & Gay Mailing Address 50 Bellaire, Niantic, CT 06357  
 Black Point Address 50 Bellaire  
 Name Hagaman, Andrea Mailing Address 49 Bellaire, Niantic, CT 06357  
 Black Point Address 49 Nehantic  
 Name Borden, Elizabeth Mailing Address 52 Nehantic Dr., Niantic, CT 06357  
 Black Point Address 52 Nehantic  
 Name Williams, Jocelyn & Karen Mailing Address 320 E. 14th St. A-9 NY, NY 1003  
 Black Point Address 54 Nehantic  
 Name \_\_\_\_\_ Mailing Address \_\_\_\_\_  
 Black Point Address \_\_\_\_\_

**LIST OF VARIANCE(S) REQUESTED:**

Section No (from Zoning Regulations)	Allowed / Required	Existing Scenario	Proposed Scenario
IX.12	14 ft	16'8" from side line	11'8" at closest point

NOTE: If completed on-line, you must save the completed file in order to email the application.  
 You should save the completed file before printing for your hard copy submission.

**VARIANCE IS REQUESTED TO ALLOW:** (briefly describe any changes in setbacks, use, total floor area, building/structure coverage, total ground coverage, height, and structure dimensions, etc.)

Extend the length of the house on the west side to 11'8" from the property line when 14' is required. The proposed "extension" is 5 ft. wide by 52'2" long. See attached site plan and zoning chart for coverage, building height and existing and proposed floor plan area.

**STRICT APPLICATION OF ZONING REGULATIONS WOULD RESULT IN UNUSUAL HARDSHIP BECAUSE:**  
(Support topological claims w/photos, survey):

Regulations prevent expansion despite lot coverage not being exceeded. Expansion is to existing three bedrooms and bathrooms - no new rooms or utilities. The minor expansion will bring bedrooms to more current space requirements. The original structure, built in 1940 over crawl space (therefore, can't build up,) was designed for seasonal use and Black Point is now a year-round community. The use of a house on a year round basis brings additional space challenges.

**THE HARDSHIP IS UNIQUE TO THIS PARCEL AND NOT SHARED BY OTHERS IN THE DISTRICT BECAUSE:**

The placement of houses on reduced sized lots by the developer creates difficulties for many properties when only a minor expansion is desired.

**DESCRIBE PROPOSED REDUCTIONS IN LEGAL PRE-EXISTING NON-CONFORMITIES, IF ANY:**

**REQUESTED VARIANCE(S) ARE IN HARMONY WITH THE PURPOSE AND INTENT OF BLACK POINT ZONING REGULATIONS AND WILL NOT ADVERSELY AFFECT THE COMPREHENSIVE PLAN OF ZONING BECAUSE:**

*There will be no adverse effects on the neighborhood. Black Point has many structures closer to the property line than I am requesting.*

There will be no adverse effects on the neighborhood. Black Point has many structures closer to the property line than I am requesting. There will remain considerable space between my house and existing neighbors.

*There will remain considerable space between my house and existing neighbors.*

(For all of above responses, please attach supplemental sheet(s), if space provided is insufficient.)

**NOTE:** If completed on-line, you must save the completed file in order to email the application. You should save the completed file before printing for your hard copy submission.

CHECKLIST OF REQUIREMENTS

ALL DOCUMENTATION MUST BE SUBMITTED IN TRIPLICATE. PDF electronic copies also helpful!

- A Plot Plan including drawn-to-scale lot dimensions, location and footprints of existing and proposed additions/modifications, and new buildings or structures.

*Note that the East Lyme GIS map is not sufficient for this purpose.*

- Elevation drawings of existing structures being modified or removed AND any proposed new construction, including a supplemental overlay drawing depicting the changes in elevations, when applicable.

- Contextual photos of existing structures and area(s) to be altered.

- Copy of owner's deed to premises.

*If necessary, please contact the East Lyme Town Clerk for assistance with seeking a copy of your deed.*

- \$450.00 Variance Application fee, in the form of a cashier's check made payable to The Black Point Beach Club Association

OWNER/APPLICANT COMMITMENTS

I (WE) CERTIFY that the statements made herein above and the documents submitted herewith are true to the best of my (our) knowledge and belief.

NOTICE: If the Board determines or discovers that information submitted in support of the variance, if granted, was incorrect or invalid, the Board may, following a public hearing with notice to the subject property owner, void such approval.

OWNER W H B \_\_\_\_\_ Date 3/15/23  
 (signature)

APPLICANT (if different from owner) \_\_\_\_\_ Date \_\_\_\_\_  
 (signature)

NOTE: If completed on-line, you must save the completed file in order to email the application. You should save the completed file before printing for your hard copy submission.

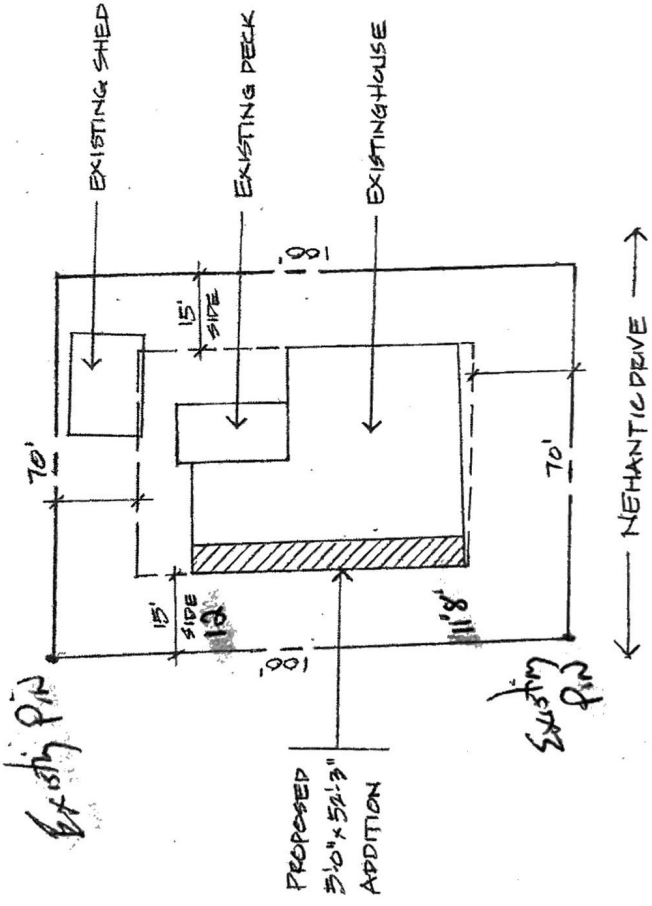








SITE PLAN INFORMATION IS DERIVED FROM TOWN OF EAST LYME G.L.S. DATA & IS SCHEMATIC IN NATURE. ALL DIMENSIONS APPROXIMATE - DO NOT SCALE DRAWING.



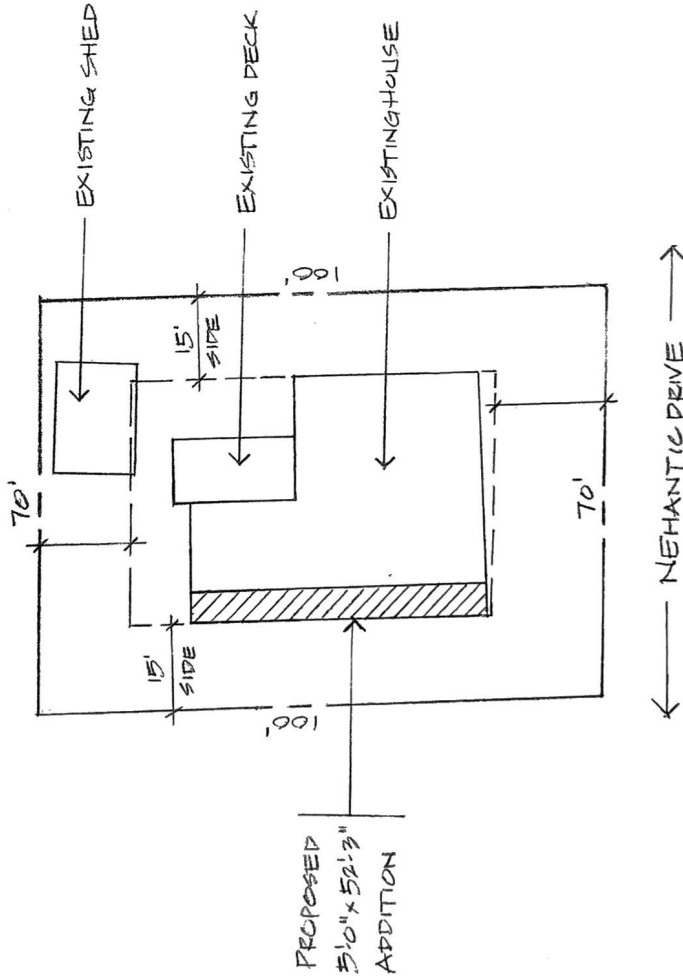
ZONING INFORMATION  
BLACK POINT BEACH CLUB ASSOCIATION

	REQUIREMENT	PROPOSED
LOT AREA	8,000 SF MIN.	7,000 SF EXISTING
FRONT YARD	20' MIN.	21' +/-
SIDE YARDS	15' MIN.	15' / 15' / 11'8" / 12"
REAR YARD	15' MIN.	26' TO ADDITION 4' TO EXISTING SHED
LOT COVERAGE	35% MAX.	2,345 SF 34% <b>33%</b>
BUILD HEIGHT	27' MAX.	17' EXISTING

EXISTING HOUSE 1,600 SF  
 EXISTING DECK 202 SF  
 EXISTING SHED 210 SF  
 ADDITION 261 SF  
 2345 SF

SCHMATIC SITE PLAN SP.1  
 53 NEHANTIC DRIVE - NIANTIC, CT  
 1" = 20'-0"

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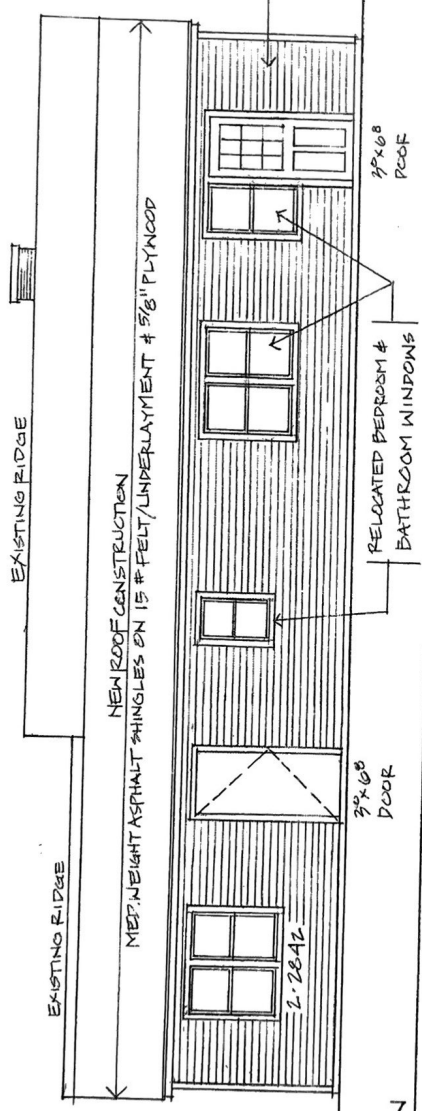
ZONING INFORMATION  
BLACK POINT BEACH CLUB ASSOCIATION

	REQUIREMENT	PROPOSED
LOT AREA	8,000 SF MIN.	7,000 SF EXISTING
FRONT YARD	20' MIN.	21' 1/2
SIDE YARDS	15' MIN.	15' / 15'
REAR YARD	15' MIN.	26' TO ADDITION 4' TO EXISTING SHED
LOT COVERAGE	35% MAX.	2,245 SF 34%
BUILD HEIGHT	27' MAX	17' EXISTING

EXISTING HOUSE 1,600 SF  
 EXISTING DECK 202 SF  
 EXISTING SHED 210 SF  
 ADDITION 261 SF  
 2,245 SF

SP.1  
 1" = 20'-0"  
 SCHEMATIC SITE PLAN  
 53 NEHANTIC DRIVE - NIAHTIC, CT

NEW WINDOWS TO BE  
ANDERSEN 400 SERIES  
VINYL CLAD DOUBLE HUNG  
WINDOWS W/ U FACTOR OF .30



SIDE ELEVATION

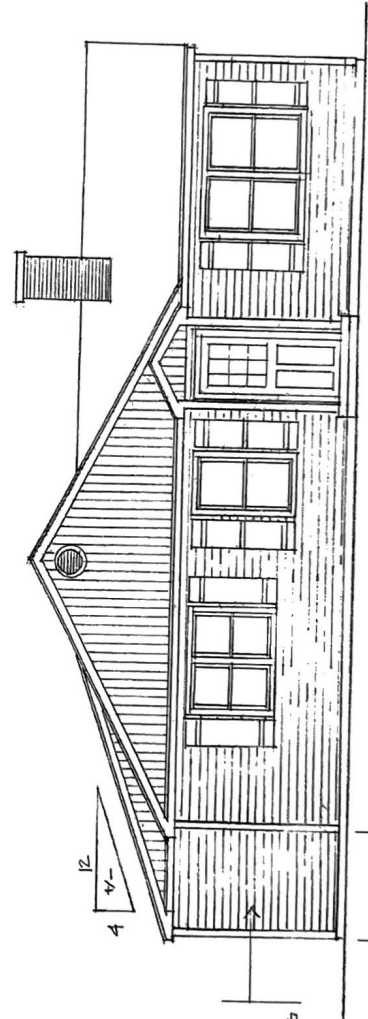
VINYL SIDING  
& TRIM TO  
MATCH EXISTING

3/4x8  
ROOF

RELOCATED BEDROOM &  
BATHROOM WINDOWS

3'x6'  
DOOR

2'-28 1/2"



VINYL SIDING  
& TRIM TO  
MATCH EXISTING

ADDITIONAL EXISTING CONSTRUCTION

FRONT ELEVATION  
53 NEHANTIC DRIVE, NIAHTIC, CT

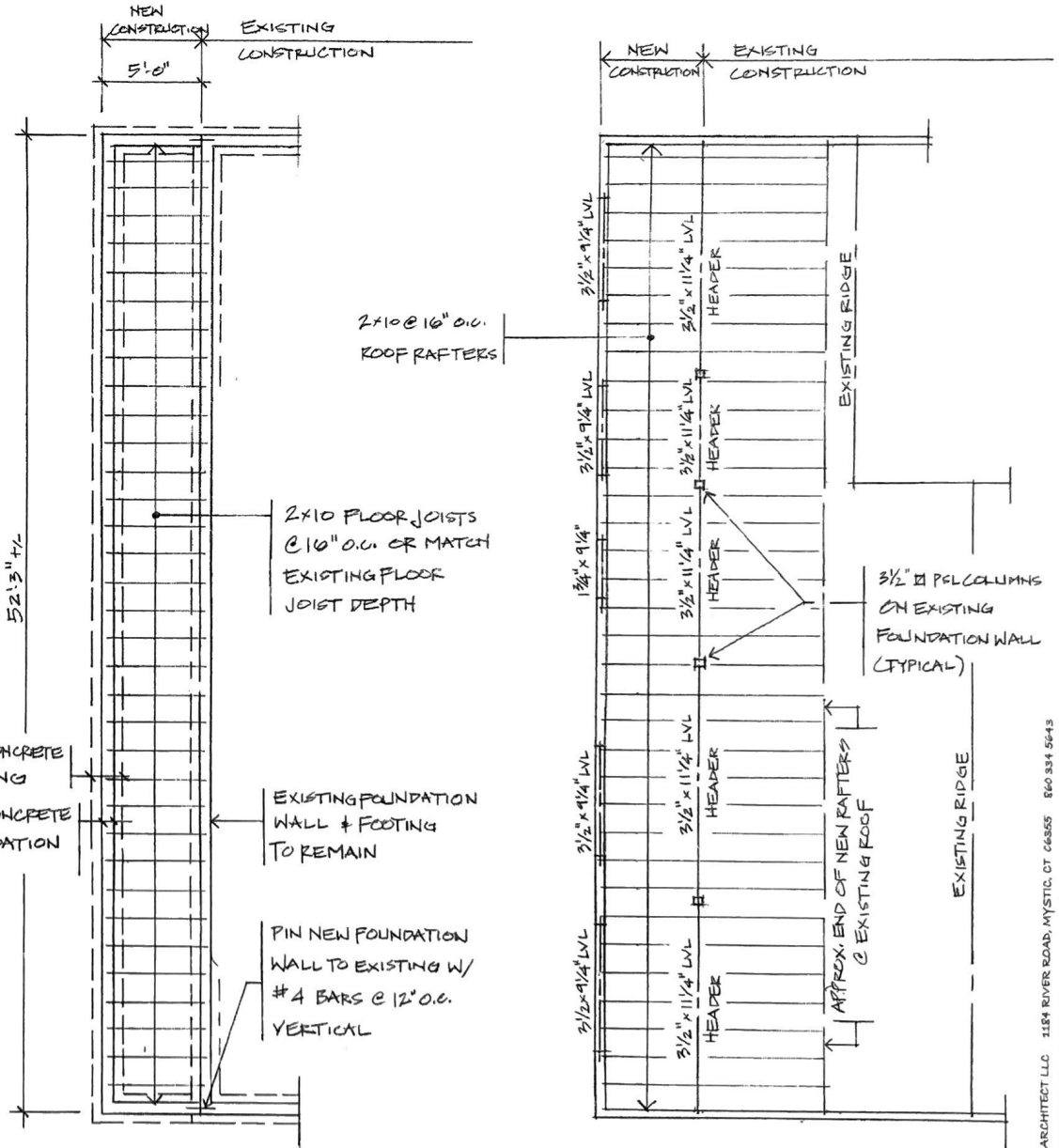
A.2  
1/4" = 1'-0"

**FOUNDATION NOTES**

- ALL FOUNDATIONS AND FOOTINGS SHALL BEAR ON NATIVE, UNDISTURBED NON ORGANIC MATERIAL OR COMPACTED STRUCTURAL FILL WITH 4000 PSF SAFE SOIL CAPACITY.
- BOTTOM OF ALL FOOTINGS TO BE 3'-6" BELOW GRADE MINIMUM.
- ALL STRUCTURAL FILL SHALL BE COMPACTED TO AT LEAST 95% OF MAXIMUM "MODIFIED" OPTIMUM DRY DENSITY (ASTM 1557-D) IN 8" THICK LOOSE LIFTS.
- VAPOR RETARDER SHALL BE POLYOLEFIN PLASTIC WITH A MINIMUM THICKNESS OF 10 MILS (.010), FREE OF PINHOLES AND OTHER BLEMISHES, JOINTS LAPPED 12" MINIMUM AND TAPED.
- WHERE THE GROUNDWATER TABLE IS ENCOUNTERED, A MINIMUM OF 6" OF 3/8" CRUSHED STONE SHALL BE PLACED UNDER THE FOOTINGS. FOOTING EXCAVATIONS SHALL BE DONE TO DRAIN ALL SUBSURFACE AND SURFACE WATER.
- INSTALL FOOTING OR FOUNDATION DRAINS AROUND ALL FOOTINGS. RUN TO DAYLIGHT.
- ALL CONCRETE WORK SHALL CONFORM TO THE AMERICAN CONCRETE INSTITUTE (ACI) "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDING" (ACI-309-95) AND "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" (ACI-318-95). CONCRETE FOR MIX DESIGN:  
FC = 3000 PSI (MIN) AT 28 DAYS, W/C RATIO = 0.48 (MAX)  
SLUMP = 4", AIR ENTRAINMENT = 6% (EXTERIOR CONCRETE)
- REINFORCING STEEL SHALL BE ASTM A615, GRADE 60.
- CONTRACTOR IS REQUIRED TO COORDINATE WITH ALL OTHER TRADES PLACEMENT OF SLEEVES, CHASE, NAILERS AND ANCHOR BOLTS. VERIFY PLACEMENT AND DIMENSIONS OF ALL ITEMS.
- ALL FOUNDATION WALLS SHALL BE ADEQUATELY BRACED TO WITHSTAND EARTH AND CONSTRUCTION LOAD PRESSURE. WALLS MUST BE AT LEAST SEVEN DAYS OLD PRIOR TO BACKFILLING.

**FRAMING NOTES**

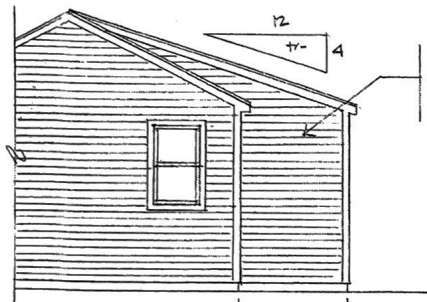
- ALL FRAMING LUMBER TO BE SPF OR DOUGLAS FIR/LARCH NO. 2 GRADE OR BETTER WITH A MIN. ALLOWABLE BENDING STRESS (FB) OF 1120 PSI AND A MODULUS OF ELASTICITY OF 1,200,000 PSI UNLESS OTHERWISE NOTED.
- ENGINEERED LUMBER SHALL BE:
  - WOOD JOISTS SHALL BE "TJI" BY TRUS JOIST MACMILLAN.
  - LAMINATED VENER LUMBER (LVL) SHALL BE "MICROLAM" BY TRUS JOIST MACMILLAN. LVL BEAMS SHALL HAVE A MINIMUM FB=25,000 PSI, E=2,000,000 PSI AND PV=285 PSI.
  - ALTERNATE PRODUCTS WILL ONLY BE PERMITTED IF APPROVED IN ADVANCE IN WRITING BY THE ARCHITECT. ALL MANUFACTURED LUMBER SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- ALL PLYWOOD PRODUCTS AND INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN PLYWOOD ASSOCIATION. LEAVE GAPS AT EDGES AS RECOMMENDED.
- APA RATED FLOOR SHEATHING TO BE 1/2" T&G PLYWOOD SUBFLOOR GLUED WITH PL300 ADHESIVE.
- ALL METAL FRAMING CONNECTORS SHALL BE SIMPSON OR EQUAL:
  - METAL FRAMING HANGER SCHEDULE UNLESS OTHERWISE NOTED:
    - 2 JOIST/RAFTER U-SERIES
    - MICROLAM HHLS SERIES
    - JOIST IKT SERIES
    - POSTS ACE CAP/ABE BASE
    - TRUSS ENDS-RAFTERS H-SERIES "HURRICANE" CLIPS
  - ALL METAL HANGERS TO BE GALVANIZED AS FOLLOWS:
    - PRESSURE TREATED WOOD G-185
    - ALL OTHER WOOD G-60
- ALL BOLTS, NAILS AND ASSOCIATED FASTENERS EXPOSED TO THE WEATHER SHALL BE HOT DIPPED GALVANIZED PER ASTM A153 WITH A MIN. WEIGHT OF ZINC COATING = 1.00 OZ./FT.
- ALL WOOD FRAMING CONNECTION SHALL BE FASTENED IN ACCORDANCE WITH THE FASTENING SCHEDULE IN THE 2022 IBC.
- PLYWOOD WALL SHEATHING SHALL BE APPLIED IN PANELS NOT LESS THAN 4' X 8' WITH 8D COMMON NAILS SPACED 6" O.C. ALONG PANEL EDGES AND 9" O.C. IN THE FIELD OF THE PANEL. ALL VERTICAL JOINTS OF PANEL SHEATHING SHALL OCCUR OVER STUDS.
- WALL SILL PLATES SHALL BE ANCHORED TO FOUNDATION WITH 1/2" DIAMETER 307 HOT DIP GALVANIZED ANCHOR BOLTS WITH 2" SQUARE WASHERS SPACED 3'-0" MAXIMUM. THERE SHALL BE A MINIMUM OF 2 ANCHOR BOLTS PER SECTION OF PLATE. ANCHOR BOLTS SHALL HAVE MINIMUM EMBEDMENT INTO THE CONCRETE OF 3".
- ALL LUMBER EXPOSED TO THE WEATHER SHALL BE PRESSURE TREATED (CCA 0.40 PCT RETENTION LEVEL) FOR MAXIMUM MOISTURE CONTENT OF 28% (SERVICE LEVEL 2) IN ACCORDANCE WITH AITC 129. (CCA 1 TYPES B & D OR CBA-A, CA-B) LEVEL OF TREATMENT SHALL BE IN ACCORDANCE WITH W/WAPA STANDARDS FOR RETENTION BASED ON END USE APPLICATION (ABOVE GROUND USE, GROUND CONTACT, ETC.).
- ALL DIMENSION LUMBER SHALL BE STRAIGHT AND NEW, IN SOUND CONDITION, KILN DRIED OR SURFACED DRY, WITH A MAXIMUM MOISTURE CONTENT OF 19%. ALL LUMBER SHALL BEAR THE GRADE AND MARK OF THE ASSOCIATION UNDER WHSE RULES IT IS PRODUCED AND A MARK OF MILL IDENTIFICATION. ALL WOOD FRAMING SHALL BE ERECTED TRUE TO LINE AND DIMENSION, WELL FASTENED AND PROPERLY BRACED.



**FOUNDATION & 1<sup>ST</sup> FLOOR FRAMING PLAN**  
53 NEHANTIC DRIVE · NIAN TIC, CT

**ROOF FRAMING PLAN**

A-3  
1/4" = 1'-0"



VINYL SIDING & TRIM TO MATCH EXISTING

NEW CONSTRUCTION \* ADDITION

PARTIAL REAR ELEVATION 1/4" = 1'-0"

NEW CONSTRUCTION \* EXISTING CONSTRUCTION

3/4" PLYWOOD FOR NEW RAFTER ATTACHMENT

MED WEIGHT ASPHALT SHINGLES ON 15# FELT / UNDERLAYMENT & 5/8" PLYWOOD  
 2x10 RAFTERS @ 16" O.C.  
 CEILING JOISTS 2x6 @ 16" O.C.  
 R-49 F.G. INSUL  
 SIMPSON H2A RAFTER TIES

EXISTING ROOF RAFTERS & SHEATHING TO REMAIN

DRIP EDGE  
 VINYL SIDING & TRIM  
 2x6 WOOD STUDS @ 16" O.C.  
 1/2" PLYWOOD  
 BUILDING WRAP  
 R-30 INSULATION

1/2" GYP. BD  
 1/2" GYP. BOARD  
 3/4" PLYWOOD  
 R-30 INSULATION

EXISTING CEILING JOISTS & GYP. BD. CEILING TO REMAIN  
 NEW 3/2" x 1 1/4" LVL HEADER W SIMPSON U210 RAFTER HANGERS  
 EXISTING INTERIOR WALL TO BE REMOVED

RIM BOARD  
 1/2" ANCHOR BOLT @ 3'0" OC W 2" W WASHER. EMBED 8"  
 2x6 P.T. SILL  
 10" CONC. FOUNDATION WALL W/ #4 BARS T & B  
 R-15 RIGID INSULATION  
 10" x 1'-10" CONC FOOTING  
 2-#4 BARS (CONT.)

2x10 @ 16" O.C. OR MATCH EXISTING

1/2" P.T. PLYWOOD  
 CRAWLSPACE

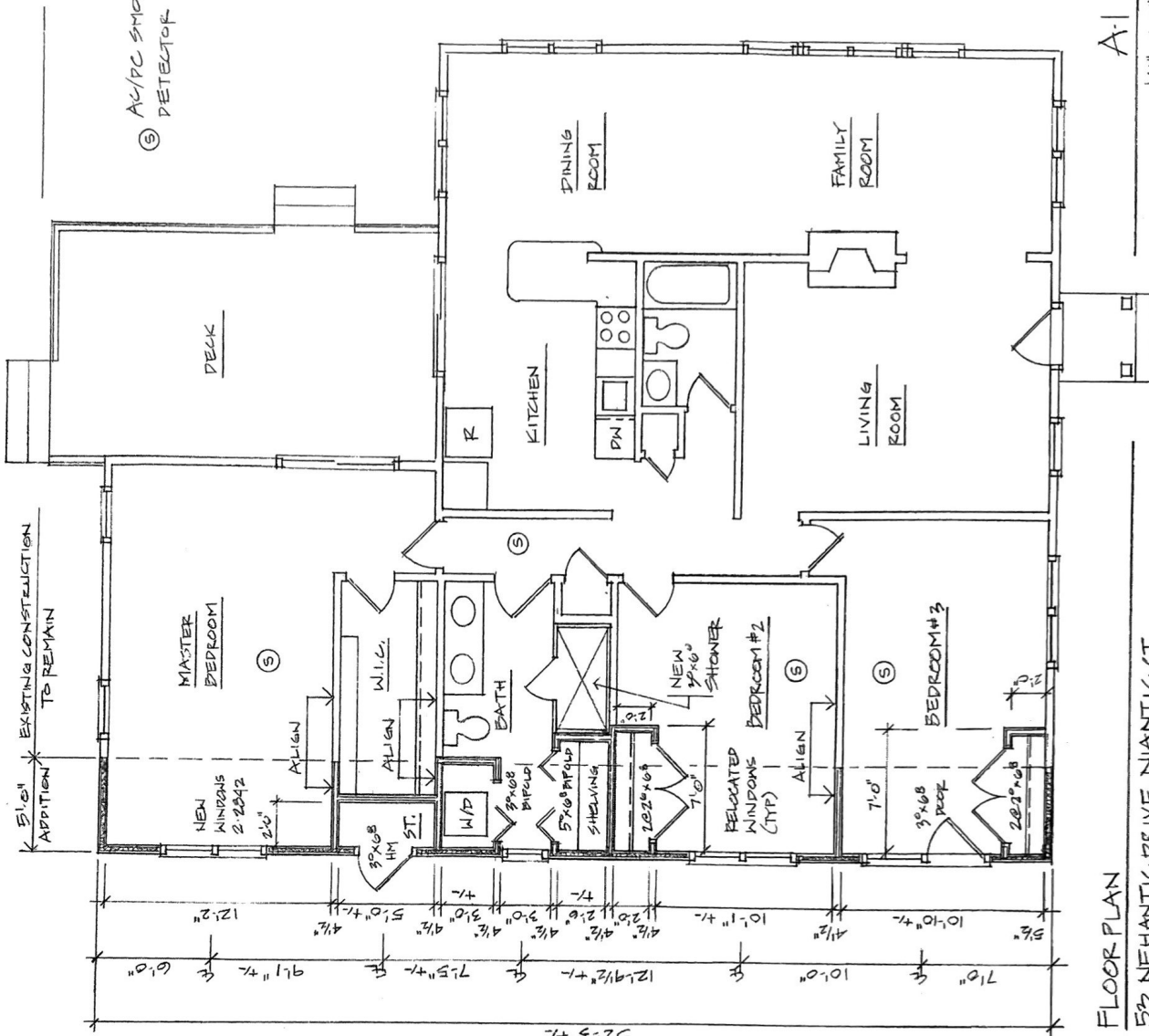
EXISTING FLOOR FRAMING TO REMAIN  
 EXISTING FOUNDATION TO REMAIN

4" CONC. SLAB ON 10 MIL VAPOR BARRIER & R-10 RIGID INSUL  
 WELL COMPACTED GRAVEL BASE

SCHEMATIC SECTION  
 53 NEHANTIC DRIVE, NIAN TIC, CT

A-4  
 1" = 1'-0"

AC/PC SMOKE/CO  
DETECTOR



A-1  
1/4" = 1'-0"

FLOOR PLAN  
53 NEHANTIC DRIVE, NIAHTIC, CT

- GENERAL NOTES**
- ALL WORK SHALL CONFORM TO THE 2022 CT STATE RESIDENTIAL BUILDING CODE CONSISTING OF THE 2021 INTERNATIONAL RESIDENTIAL CODE AND THE 2022 CT AMENDMENTS.
  - VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO THE WORK. REPORT ALL DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
  - ALL FINISHES, FINISHES AND EQUIPMENT NOT SPECIFIED ON THE DRAWINGS TO BE PROVIDED BY OWNER. FINISHES TO BE SELECTED BY OWNER FROM MANUFACTURER'S STANDARD SAMPLES.
  - THE GENERAL CONTRACTOR SHALL BEAR SOLE RESPONSIBILITY FOR THE MEANS AND METHODS OF CONSTRUCTION AND SAFETY ON THE JOB SITE.
  - DO NOT SCALE THE DRAWINGS.
  - DRAWINGS INDICATE THE ANTICIPATED RESULTS, AND ARE NOT INTENDED TO SHOW EVERY CONSTRUCTION DETAIL. METHODS OR MATERIAL REQUIRED TO COMPLETE THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS, METHODS, AND MATERIALS REQUIRED TO PERFORM ALL THE WORK, WHETHER SPECIFIED ON THE DRAWINGS OR NOT, AS REQUIRED FOR A COMPLETE, THOROUGH AND PROFESSIONAL EXECUTION OF THE WORK IN EVERY RESPECT.
  - THE GENERAL CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL MANUFACTURED PRODUCTS ON THE PROJECT FOR REVIEW AND APPROVAL FROM THE ARCHITECT PRIOR TO INSTALLATION.
  - ALL MANUFACTURED PRODUCTS (DILGISTS, SHINGLES, WINDOWS, ETC.) TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S STANDARDS AND SPECIFICATIONS.
  - THE GENERAL CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION TO REMAIN, AND SHALL PATCH AND REPAIR ANY DAMAGE TO THE EXISTING CONSTRUCTION TO REMAIN CAUSED DURING THE DEMOLITION OR CONSTRUCTION OF THE WORK AS SHOWN ON THE DRAWINGS.
  - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL TRADE WORK TO ENSURE COMPLETE AND CORRECT INSTALLATION OF THE WORK.

**PARTITION SCHEDULE**

- EXISTING PARTITION TO REMAIN
- NEW EXTERIOR PARTITION  
2x6 WOOD STUDS @ 16" O.C. W/ 1/2" EXT. PLYWOOD, BUILDING WRAP, VINYL SIDING & TRIM TO MATCH EXISTING, R-30 SPRAY FOAM INSULATION, 1/2" GYP. BD. INTERIOR FACE
- NEW INTERIOR PARTITION  
2x4 WOOD STUDS @ 16" O.C. W/ 1/2" GYP. BD BOTH FACES

Return to: William Budds  
53 Nehantic Drive Danhic, CT  
06357

**STATUTORY FORM WARRANTY DEED**

**KNOW YE, THAT WE, KURT R. PATERNOSTRO and GINA M. PATERNOSTRO**, of the Town of East Lyme, County of New London and State of Connecticut, for consideration in the amount of THREE HUNDRED EIGHTY FIVE THOUSAND AND 00/100 (\$385,000.00) DOLLARS paid, grant to **WILLIAM BUDDS** of the Town of East Lyme, County of New London and State of Connecticut, with **WARRANTY COVENANTS**,

A certain piece or parcel of land with all buildings and other improvements thereon situated on the northerly side of Nehantic Drive, so-called, known as 53 Nehantic Drive, in the Black Point Beach Club Property in the Town of East Lyme in the County of New London and State of Connecticut, being Lot No. 732 and the easterly 30 feet of Lot No. 733 of Plan 1 of the Black Point Beach Club Property as the same is laid out into building lots and plans filed for reference May 27, 1931 in the office of the Town Clerk of the Town of East Lyme. Said Lots are more particularly bounded and described as follows:

- NORTHERLY, 70 feet, more or less, by Lots Nos. 752 & 753, in part by each;
- EASTERLY, 100 feet, more or less, by Lot No. 731;
- SOUTHERLY, 70 feet, more or less, by Nehantic Drive; and
- WESTERLY, 100 feet, more or less, by the remaining 10 foot strip of Lot No. 733, now or formerly of Dorothy M. Scoot and Bertha E. Kivney.

Being the same premises conveyed to the Grantors herein by virtue of a Warranty Deed dated September 15, 2006 and recorded on September 18, 2006 in Volume 754, Page 165 of the East Lyme Land Records.

Said premises are conveyed subject to the following:

1. Any and all provisions of any ordinance, municipal regulation or public or private law;
2. Taxes to the Town of East Lyme on the List of October 1, 2016, which taxes the Grantee herein assumes and agrees to pay as part consideration for this transfer.
3. Restrictions, Covenants, Building Lines and Pipe and Wire Rights to the extent they shall still apply contained in a deed from Shore & Lake Corporation to Leopold A. Proch dated February 11, 1932 and recorded in Volume 29 at Page 731 of the East Lyme Land Records and in a deed from Shore & Lake Corporation to Bertha E. Kivney dated June 30, 1953 and recorded in Volume 54 at Page 163 of the East Lyme Land Records.

CONVEYANCE TAXES COLLECTED  
\$2887.50 \$962.50  
Lesley A. Blais  
TOWN CLERK OF EAST LYME

Signed this 21st day of June, 2017.

Witnessed by:

Wendy L. Veilleux  
Wendy L. Veilleux

Kurt R. Paternostro

Kurt R. Paternostro

Gina M. Paternostro  
Gina M. Paternostro

Gina M. Paternostro  
Gina M. Paternostro

STATE OF CONNECTICUT)

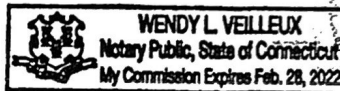
) ss. Manchester

June 21, 2017

COUNTY OF HARTFORD )

Personally appeared **Kurt R. Paternostro** and **Gina M. Paternostro**, signers of the foregoing instrument, and acknowledged the same to be their free act and deed, before me.

Wendy L. Veilleux  
Wendy L. Veilleux, Notary Public



Grantees' Mailing Address:



Legal Description  
Schedule A

A certain piece or parcel of land with all buildings and other improvements thereon situated on the northerly side of Nehantic Drive, so-called, in the Black Point Beach Club Property in the Town of East Lyme in the County of New London and State of Connecticut, being Lot No. 732 and the easterly 30 feet of Lot No. 733, of Plan 1 of the Black Point Beach Club Property as the same is laid out into building lots and plans filed for reference May 27, 1931 in the office of the Town Clerk of the Town of East Lyme. Said Lots are more particularly bounded and described as follows:

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EASTERLY, 100 feet, more or less, by Lot No. 731;  
SOUTHERLY, 70 feet, more or less, by Nehantic Drive; and  
WESTERLY, 100 feet, more or less, by the remaining 10 foot strip of Lot No. 733, now or formerly of Dorothy M. Scoot and Bertha E. Kivney.

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Recorded June 26 20 17  
AM  
2:18 PM Lesley A. Blawie  
East Lyme Town Clerk